

MINUTE ITEM
This Calendar Item No. 05
was approved as Minute Item
No. 5 by the State Lands
Commission by a vote of 2
to 0 at its 5/23/87
meeting.

CALENDAR ITEM

A 8
S 4

C 05

05/28/87
W 23846 PRC 7079
Poe

GENERAL LEASE - COMMERCIAL USE

APPLICANT: Napa Mill Development
Company, A General
Partnership
900 Fulton Avenue, Suite 103
Sacramento, California 95825

AREA, TYPE LAND AND LOCATION:
0.083+-acre parcel of tide and submerged lands
in Napa River, City of Napa, Napa County.

LAND USE: Proposed elevated public access pedestrian
walkway adjacent to commercial development.

TERMS OF PROPOSED LEASE:

Initial period: 25 years beginning May 1,
1987.

Surety bond: N/A.

Public liability insurance: Combined single
limit coverage of \$1,000,000.

CONSIDERATION: \$4,230 per annum; with the State reserving the
right to fix a different rental on the
first anniversary date, and each
fifth anniversary of the lease thereafter.

BASIS FOR CONSIDERATION:

Pursuant to 2 al. Adm. Code 2003.

APPLICANT STATUS:

Applicant is owner of upland.

CALENDAR ITEM NO. C 05 (CONT'D)

PREREQUISITE CONDITIONS, FEES AND EXPENSES:
Filing fee has been received.

STATUTORY AND OTHER REFERENCES:

- A. P.R.C.: Div. 6, Parts 1 and 2; Div. 13.
- B. Cal. Adm. Code: Title 2, Div. 3; Title 14, Div. 6.

BB 884: 06/12/87.

OTHER PERTINENT INFORMATION:

1. The proposed project is planned within an area of downtown Napa that currently is improved with older warehouse buildings. In compliance with the City's approved "Riverfront Plan", the subject upland is being converted from an unused grain mill and warehouse to riverfront commercial use. Plans call for renovation of the 57,000 sq. ft. structure to a series of retail shops, restaurant, office and service areas, and an arcade. The area along the Napa River, and over State-owned land, will be utilized as a publicly used pedestrian walkway - cantilevered and elevated above the River. In addition to providing public access along the River, the walkway will serve as access to the renovated building.
2. This activity involves lands identified as possessing significant environmental values pursuant to P.R.C. 6370, et seq. Class (b). The project, as proposed, is consistent with its use classification.
3. A Negative Declaration was prepared and adopted for this project by the City of Napa. The State Lands Commission's staff has reviewed such document and believes that it complies with the requirements of the CEQA.

APPROVALS OBTAINED:

City of Napa, United States Army Corps of Engineers, and Department of Fish and Game.

CALENDAR ITEM NO. C 05 (CONT'D)

- EXHIBITS:
- A. Land Description.
 - B. Location Map.
 - C. Negative Declaration.

IT IS RECOMMENDED THAT THE COMMISSION:

1. FIND THAT A NEGATIVE DECLARATION WAS PREPARED AND ADOPTED FOR THIS PROJECT BY THE CITY OF NAPA AND THAT THE COMMISSION HAS REVIEWED AND CONSIDERED THE INFORMATION CONTAINED THEREIN.
2. DETERMINE THAT THE PROJECT, AS APPROVED, WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT.
3. FIND THAT THIS ACTIVITY IS CONSISTENT WITH THE USE CLASSIFICATION DESIGNATED FOR THE LAND PURSUANT TO P.R.C. 6370, ET SEQ.
4. AUTHORIZE ISSUANCE TO NAPA MILL DEVELOPMENT COMPANY, A GENERAL PARTNERSHIP, OF A 25-YEAR GENERAL LEASE - COMMERCIAL USE BEGINNING MAY 1, 1987; IN CONSIDERATION OF ANNUAL RENT IN THE AMOUNT OF \$4,230.00, WITH THE STATE RESERVING THE RIGHT TO FIX A DIFFERENT RENTAL ON THE FIRST ANNIVERSARY DATE OF THE LEASE AND ON EACH FIFTH ANNIVERSARY OF THE LEASE THEREAFTER; PROVISION OF PUBLIC LIABILITY INSURANCE FOR COMBINED SINGLE LIMIT COVERAGE OF \$1,000,000; FOR CONSTRUCTION AND MAINTENANCE OF AN ELEVATED-CANTILEVERED PUBLIC ACCESS PEDESTRIAN WALKWAY ON THE LAND DESCRIBED ON EXHIBIT "A" ATTACHED AND BY REFERENCE MADE A PART HEREOF.

EXHIBIT "A"

LAND DESCRIPTION

N 23846

A parcel of tide and submerged land in the Napa River, City of Napa, Napa County, California, lying immediately beneath an elevated walkway located adjacent to and easterly and southerly of Lots 1, 2, 3, 4 and 10 in Block #1, as shown on the map entitled "Plan of Napa City" recorded November 29, 1853 in Book B of Deeds at page 433, Official Records of Napa County.

EXCEPTING THEREFROM any portion lying landward of the ordinary high water mark of the Napa River.

END OF DESCRIPTION

PREPARED DECEMBER 1, 1986 BY BOUNDARY SERVICES UNIT, M. L. SHAFER,
SUPERVISOR.

0424b



EXHIBIT "B"
W 23846



NOTICE OF DETERMINATION

N-882

TO: Office of Planning and Research
1400 Tenth Street
Sacramento, California 95814

FROM: Planning Department
City of Napa
1600 First Street
Napa, CA 94559

E N D O R S E D

or
 County Clerk
County of USA/PA

FILED NOV 12 1986
JANICE F. HORTON
COUNTY CLERK
BY: _____

SUBJECT: Filing of Notice of Determination in compliance with Section 21108 or 21152 of the Public Resources Code

Project Title _____

85-094: NAPA MILL

State Clearinghouse Number (if submitted to State Clearinghouse) _____

Contact Person _____ Telephone Number _____

N/A

Jerry Cornack

(707) 252-7711 X360

Project Location _____

550 Main Street

Project Description _____

Renovation of the historic Hatt Building, a City landmark site, and expansion of the building complex from 57,000 square feet to 84,615 square feet of floor area as a tourist commercial retail shopping complex.

This is to advise that the CITY OF NAPA

(Lead Agency or Responsible Agency)

has approved the above described project and has made the following determinations regarding the above described project:

1. The project will have significant effect on the environment.
 will not
2. An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
 A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.

The EIR or Negative Declaration and record of project approval may be examined at: Planning Department, 1600 First Street, Napa, CA 94559

3. Mitigation measures were, were not, made a condition of the approval of the project.

4. A statement of Overriding Considerations was, was not, accepted for this project.

Date Received for Filing _____

Jerry Cornack
Signature
Principal Planner
Title

NOV 12 1986

**NAPA MILL
INITIAL STUDY**

Prepared for:
CITY OF NAPA
SEPTEMBER 1986

ESA
PLANNING AND ENVIRONMENTAL SERVICES

760 HARRISON STREET
SAN FRANCISCO, CA 94107
(415) 896-5800

SECTION 2

ENVIRONMENTAL INFORMATION FORM

A. DESCRIPTION OF PROPERTY

1. Address or Location

The project site is located in the downtown area of the City of Napa and is bounded by Fifth Street on the north, Brown Street on the west, and the Napa River on the southern and eastern sides. The terminus of Main Street divides the site in two. Figure 1 shows the project site in relation to the community.

2. Assessor's Parcel Numbers

The project site is identified by Napa County as Assessor's Parcel Numbers (APNs) 3-277-01, 3-275-01 and 3-275-02. Figure 2 shows the site in relation to adjacent parcels.

3. Present use of the site: indicate any existing structures, their use and occupancy and any special features -- biotic, historic, hydrologic, topographic, etc.

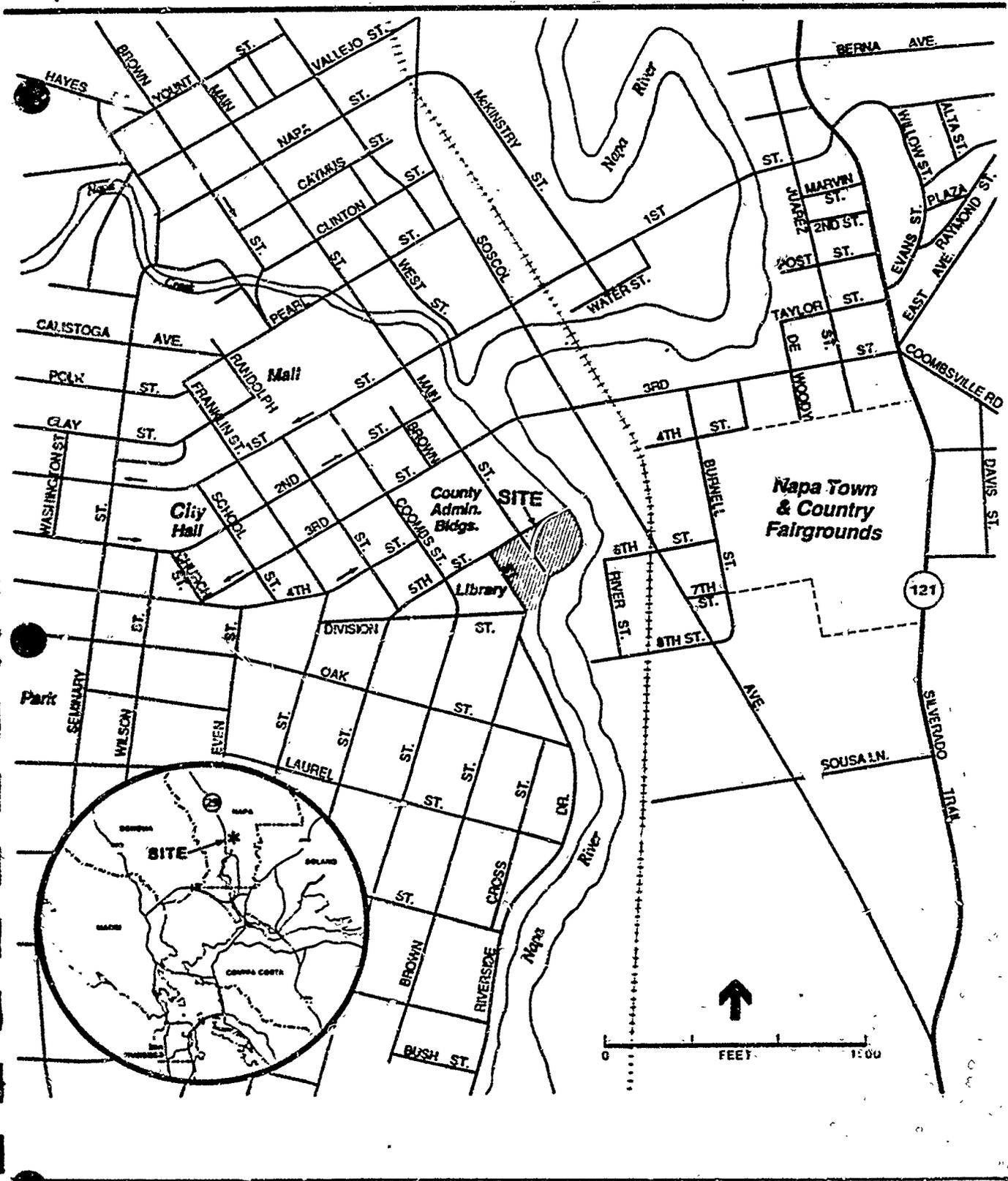
a. Existing Uses on the Site

The site consists of two blocks separated by Main Street. At the southeast corner of the intersection of Fifth and Main Streets is the Hatt Building, a cluster of six separate buildings which appear from the exterior as a single unit (see Figures 3, 4 and 5). The Hatt Building encompasses the entire eastern block. Originally a grain mill, the building has been used most recently as a feed store and warehouse space. At present, the building is not used for commercial purposes and is vacant. Portions of the building have been listed on the National Register of Historic Places and the entire structure is designated by the City of Napa as a "Landmark Priority." A footpath leads from the end of Main Street down to the river bank along the southern side of the Hatt Building. The bank area is used by persons fishing in the river. Building walls are marked by graffiti.

The western portion of the project site consists of two parcels bounded by Main, Fifth and Brown Streets (see Figures 3 and 4). A small 1,650-square-foot, one-story building is located at the corner of Fifth and Brown Streets; the building is being used as a temporary Napa Mill project office. The remainder of this portion of the site is vacant except for several trees. The surface of these two parcels is primarily dirt and gravel.

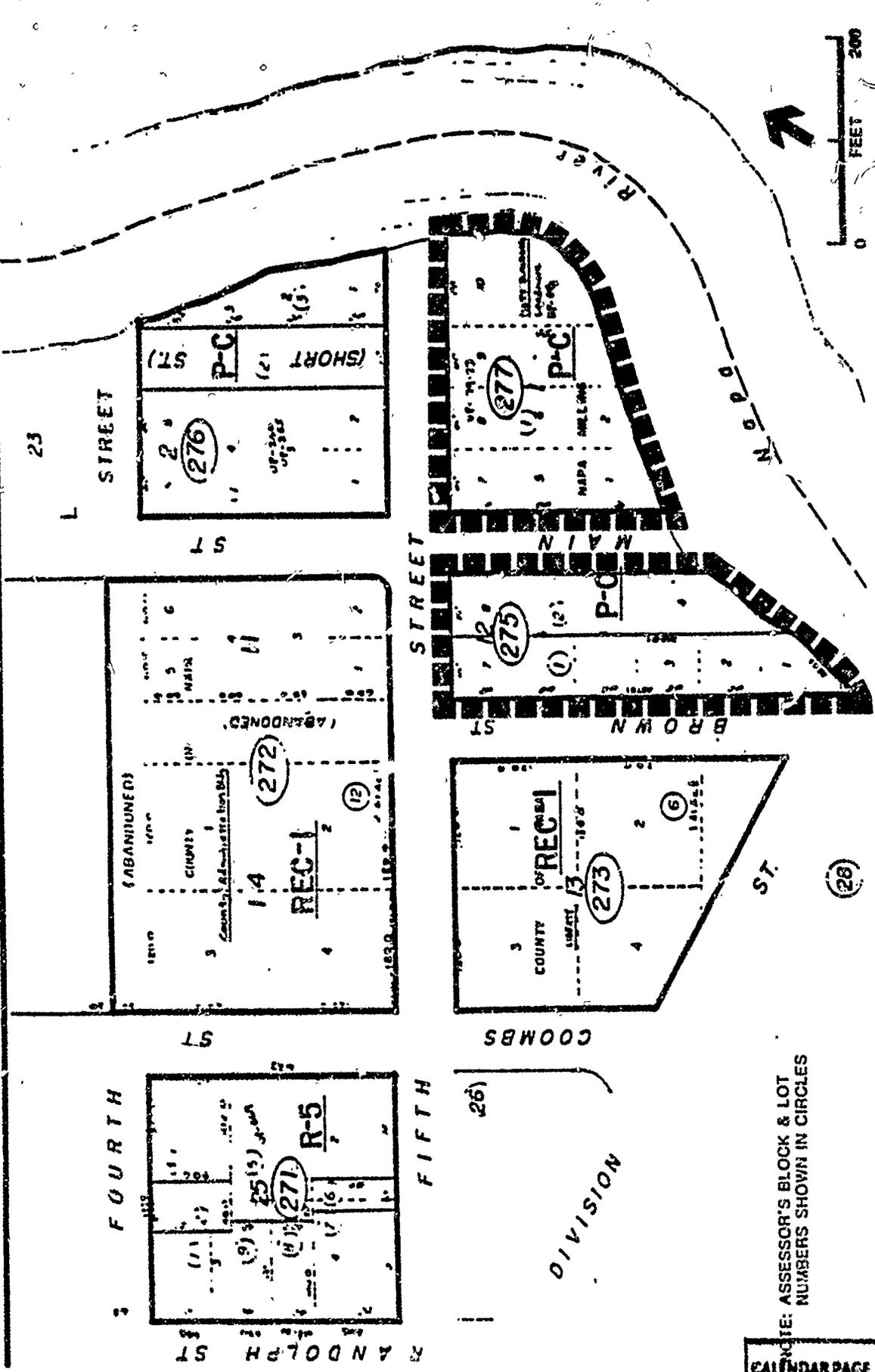
b. Character of Surrounding Area

The County Administration buildings are located diagonally across Fifth and Main Streets from the site (see Figure 5), while the City/County library is located west across Brown Street from the site. Residential uses are located to the southwest and west. A vacant, grass and dirt-covered lot is located north across Fifth Street from the site. The block north of this lot, on Main Street between Third and Fourth Streets, is the site of the proposed Napa National Bank project, a mixed-use retail, office and bank development. Commercial



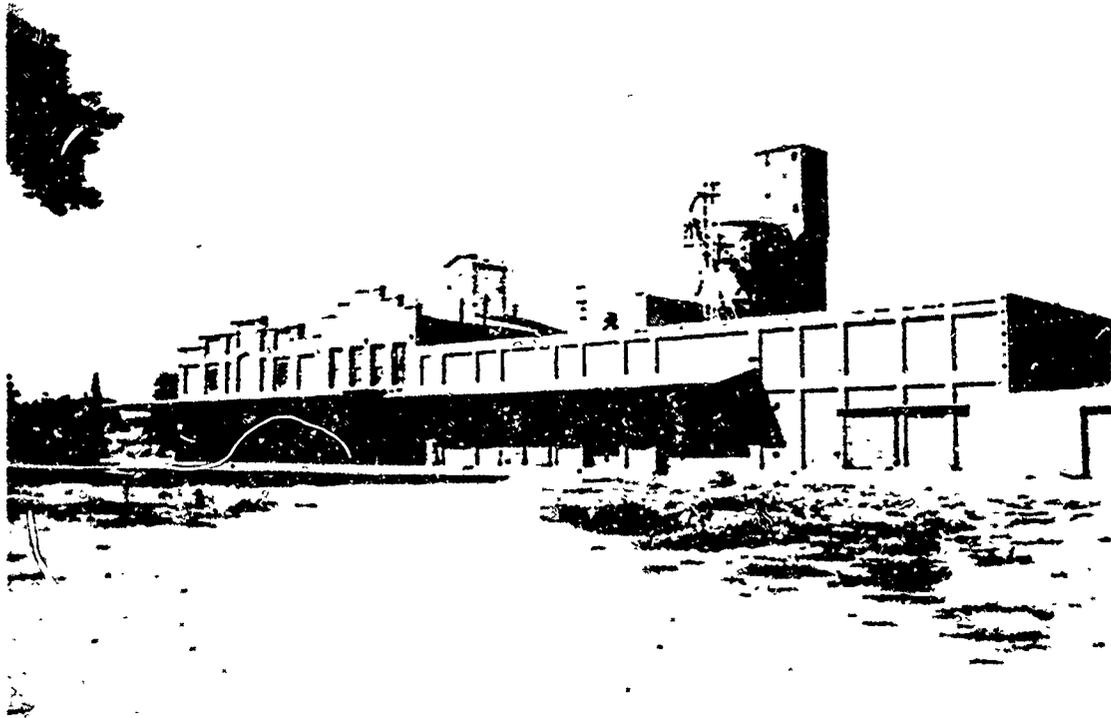
**FIGURE 1
LOCATION MAP**

SOURCE: ESA



NOTE: ASSESSOR'S BLOCK & LOT NUMBERS SHOWN IN CIRCLES

FIGURE 2
ASSESSOR'S PARCEL MAP
SHOWING ZONING DESIGNATIONS



VIEW TOWARDS NORTHEAST FROM BROWN STREET



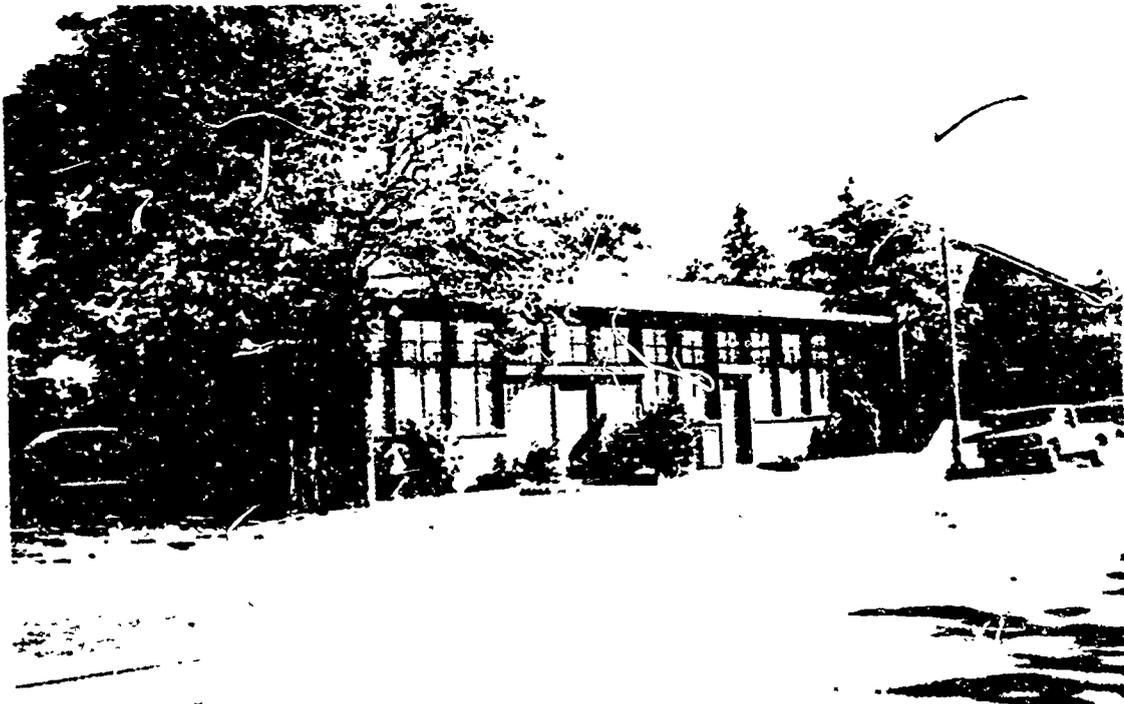
VIEW TOWARDS SOUTH FROM MAIN STREET

FIGURE 3
SITE PHOTOGRAPHS

SOURCE: ESA



VIEW OF FATT BUILDING FROM MAIN STREET

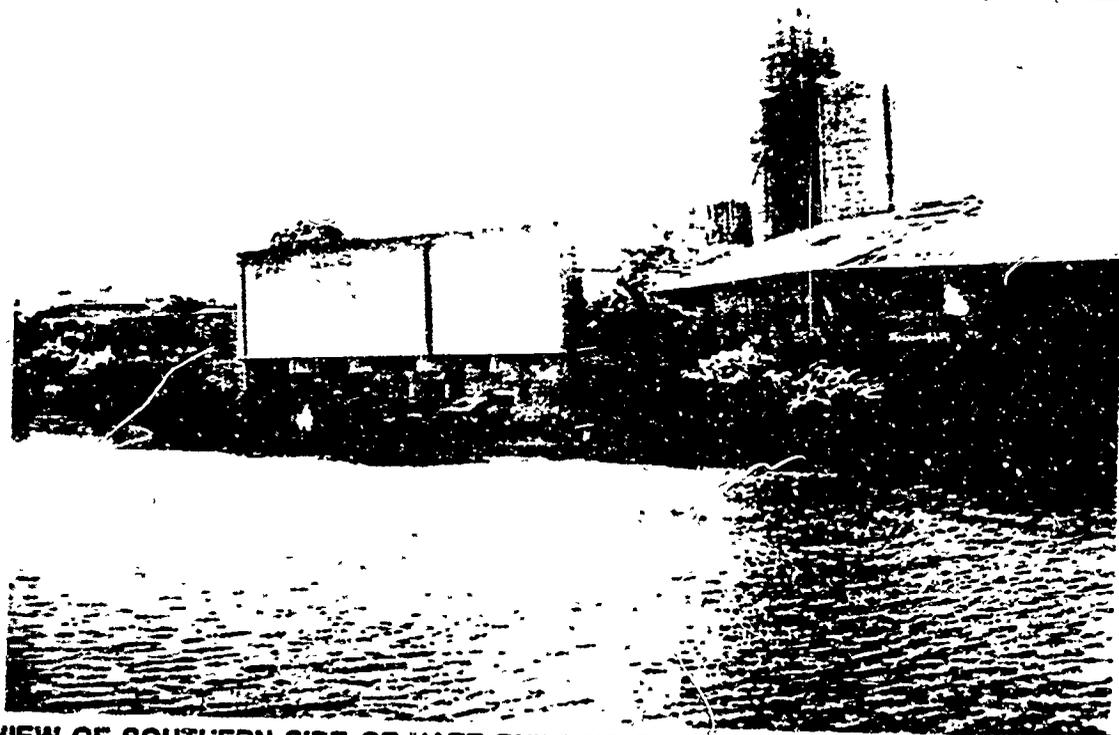


VIEW OF BUILDING PROPOSED FOR DEMOLITION AT FIFTH AND BROWN STREETS

FIGURE 4
SITE PHOTOGRAPHS

SOURCE: ESA

CALENDAR PAGE	33
MINUTE PAGE	1527



VIEW OF SOUTHERN SIDE OF HATT BUILDING FROM EAST SIDE OF NAPA RIVER



**VIEW TOWARDS NORTH ON MAIN STREET SHOWING HATT BUILDING
ON THE RIGHT AND COUNTY HALL OF JUSTICE ON THE LEFT**

SOURCE: ESA

**FIGURE 5
SITE PHOTOGRAPHS**

retail and office uses are located on Main Street north of the site. The County currently has plans to expand the jail onto a portion of the existing county parking lot to the rear (south) of the Administration buildings.

Buildings in the vicinity are generally low-scale. The County Administration building, at three stories plus a penthouse, is the tallest structure in the area other than the silos of the Napa Mill.

c. Environmental Setting

(See Section 3 for a complete and detailed description of the project site's environmental setting.)

On-site vegetation consists of several trees, and grasses and weeds. All plant species are introduced and common. Riparian (streamside) species grow along the Napa River bank. There is no important wildlife nor are there any special features which might support unique biological communities. The vacant portion of the site slopes gently towards the south towards the river; soils are Cole silt loam and riverwash.

There are no known archaeological remains on the project site, which has been disturbed over the years. Buildings A and B are listed on the National Register of Historic Places and the entire structure is designated by the City of Napa as a "Landmark Priority."

Views from the site are of the residential neighborhood to the southwest; the Napa City/County Library building and loading area to the west; the small commercial structures to the northwest; the County Administration Building and landscaped parking lot to the north of the project's vacant portion; the vacant, sparsely vegetated dirt and gravel lot to the north of the Hatt Building; and, from the sides of the Hatt building and from the bank along the southern side of the building, the Napa River to the east and south.

Service levels at intersections in the vicinity of the project site are all excellent to very good. Air quality is good and noise levels are within acceptable standards.

The proposed parking lot area was the site of a 19th century gas-generating plant, and a subsurface gas tank is also located on site. Soil samples taken on site indicate the presence of hydrocarbons, a by-product of gasoline, which is considered a human health hazard.

B. DESCRIPTION OF PROJECT

1. Project Name

Napa Mill

2. Project Developer/Applicant

Napa Mill Development Company
900 Fulton Avenue, Suite 100
Sacramento, CA 95825
(916) 488-6670

3. Site Acreage or Size

The entire site is approximately 1.96 acres, and consists of three parcels. One, at the southeast corner of Fifth and Main Streets, is approximately 0.96 acre, and the other two, together bounded by Fifth, Main and Brown Streets and the Napa River, are approximately one acre.

4. Building Square Footage

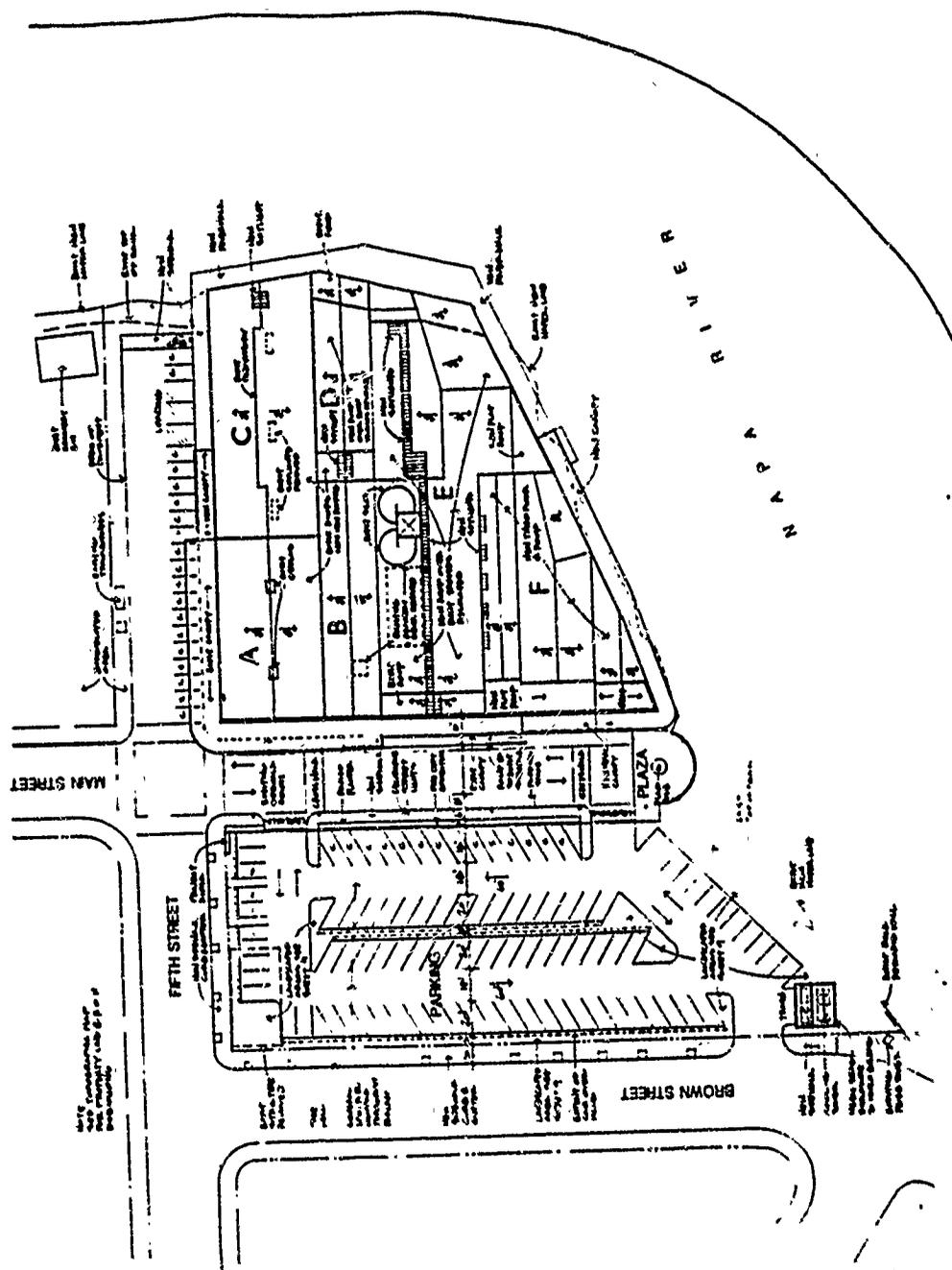
The existing Hatt Building contains approximately 57,100 gross square feet (gsf) of space. The project is the renovation of this existing space and the addition of 27,520 gsf, for a total of 84,620 gsf. New floor space will be provided in a partial second and third floor additions. The project will consist of approximately 39,600 gsf of retail space, 16,600 gsf of restaurant area, 6,000 gsf of office space and 22,400 gsf of circulation and services space. Figures 6 to 12 show the project site plan, floor plans, building elevations and sections.

5. Project Description. Include information in narrative on proposed uses and time of operation, proposed occupancy, construction scheduling and phasing, and any unusual or unique characteristics.

(Mitigation measures will, in some cases, change the following description.)

The Napa Mill project consists of renovating the Hatt Building which actually consists of six buildings referred to on the site plans as Buildings A to F. The project will provide approximately 63,000 gsf of leaseable commercial space in the building, an exterior boardwalk allowing public access to the Napa River, and landscaped parking. The theme will be "Napa Valley, Then and Now" and will focus on food, crafts and recreation. The project will include a rezoning from "PC" (Planned Community) to "PD" (Planned Development).

The project proposes a total of approximately 39,600 gsf of retail space, 16,600 gsf of restaurant area, 6,000 gsf of office space and 22,400 gsf of circulation and services space including the first floor, two-story high arcade. The new third floor addition will be completely comprised of office space and no office uses will appear on lower floors. Three restaurants are proposed for the project. A small food service establishment is planned for the first floor adjacent to the riverwalk. Take-out service will supplement high turnover seating for food including sandwiches, salads, ice cream and other snacks. Two restaurants are proposed for the second floor: a supper club with bar and live-entertainment theatre in Buildings A and B, and an ensemble of fast-food concessionaires serving a variety of cuisine with seating in a common table area.



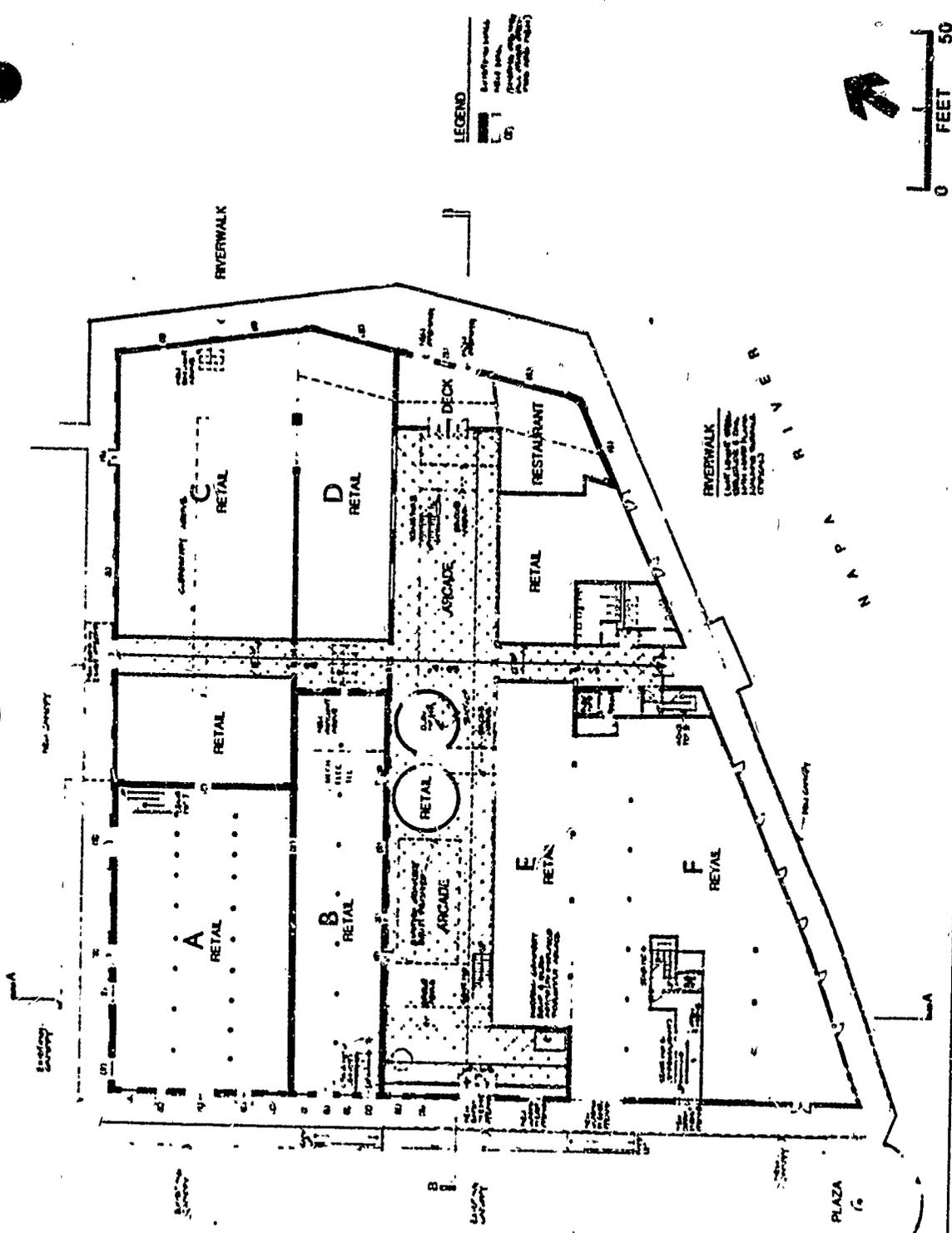
PROJECT DATA

Project Name	...
Client	...
Architect	...
Site Address	...
Project No.	...
Date	...
Scale	...
Sheet No.	...
Project Manager	...
Designer	...
Checker	...
Plotter	...
Printer	...
...	...

**FIGURE 6
SITE PLAN**

SOURCE: Tanner & VanDine Architects

CALENDAR PAGE 37
MINUTE PAGE 1531



LEGEND

- Existing Building
- New Building
- Existing Structure
- New Structure

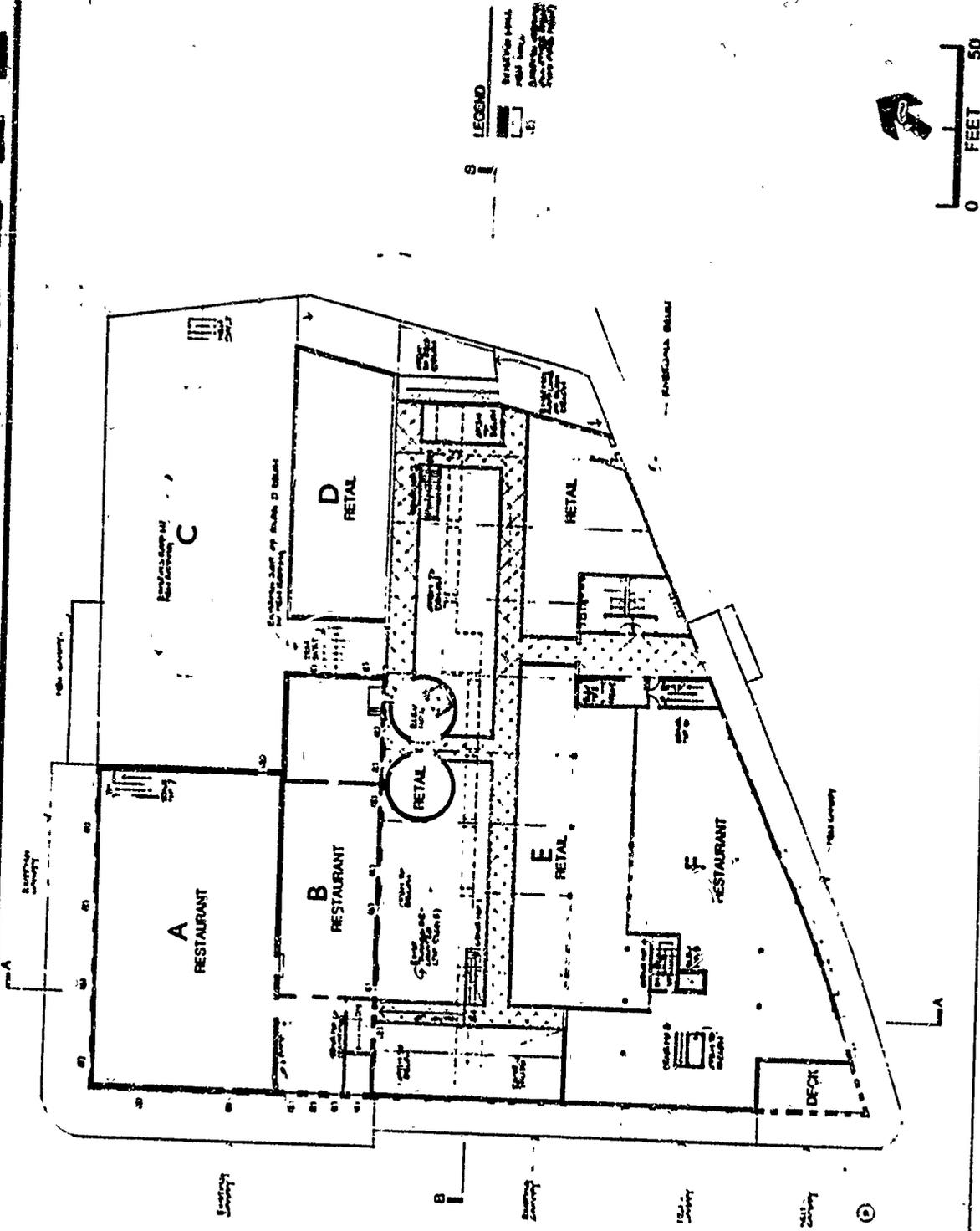
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50

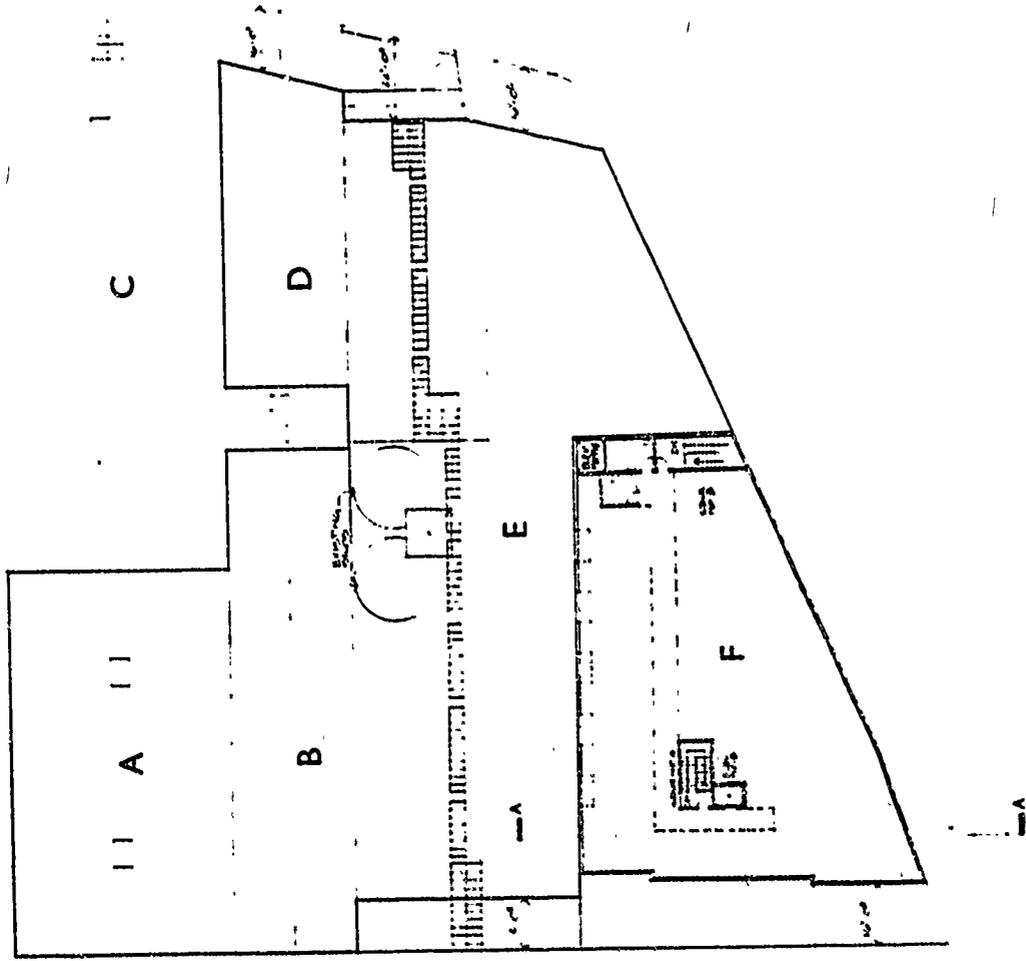
FEET

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FIGURE 7
FIRST FLOOR PLAN

SOURCE: Tanner & VanDine Architects





LEGEND

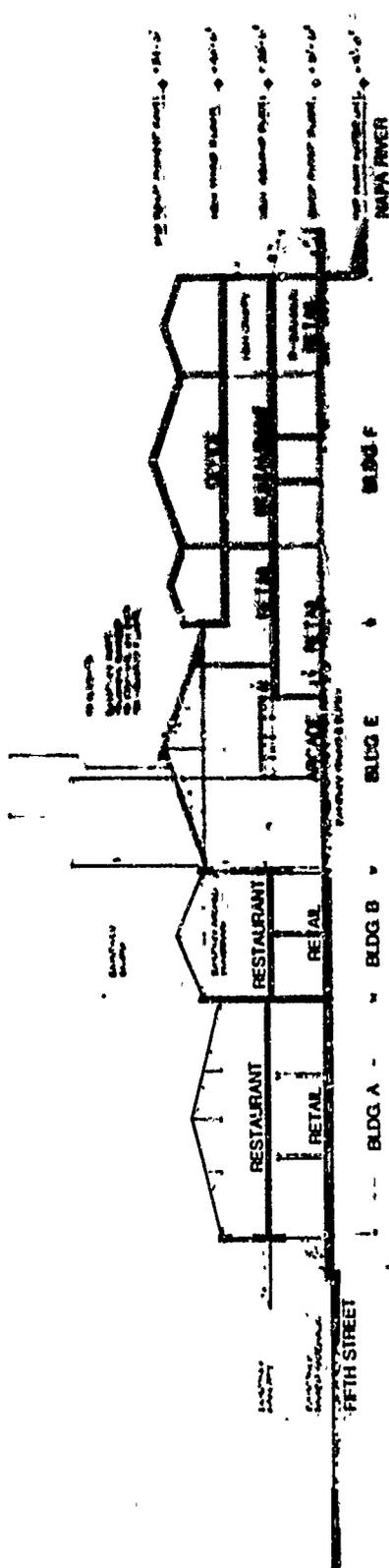
- Landing Area
- Staircase
- Elevator
- Restroom
- Office
- Conference Room



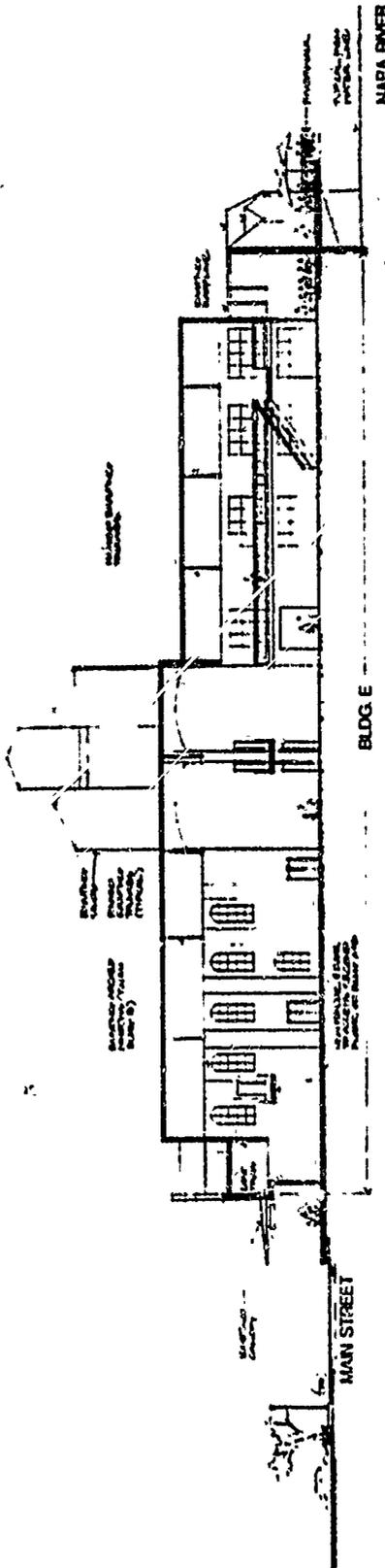
FIGURE 9
THIRD FLOOR PLAN

SOURCE: Tanner & VanDine Architects

CALENDAR PAGE	80
MINUTE PAGE	1534



CROSS SECTION A

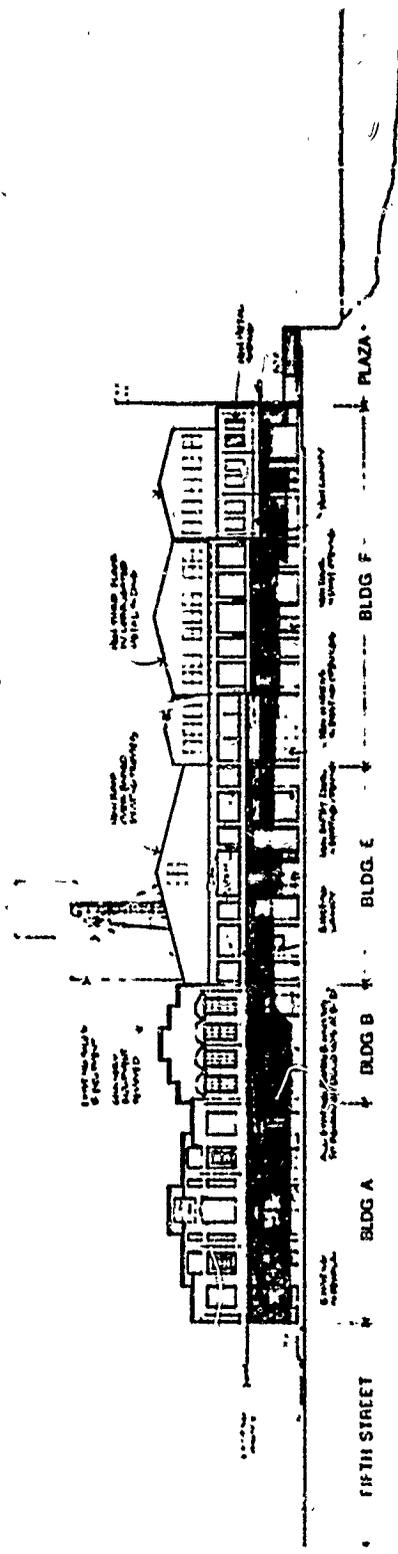


ARCADIA SECTION B

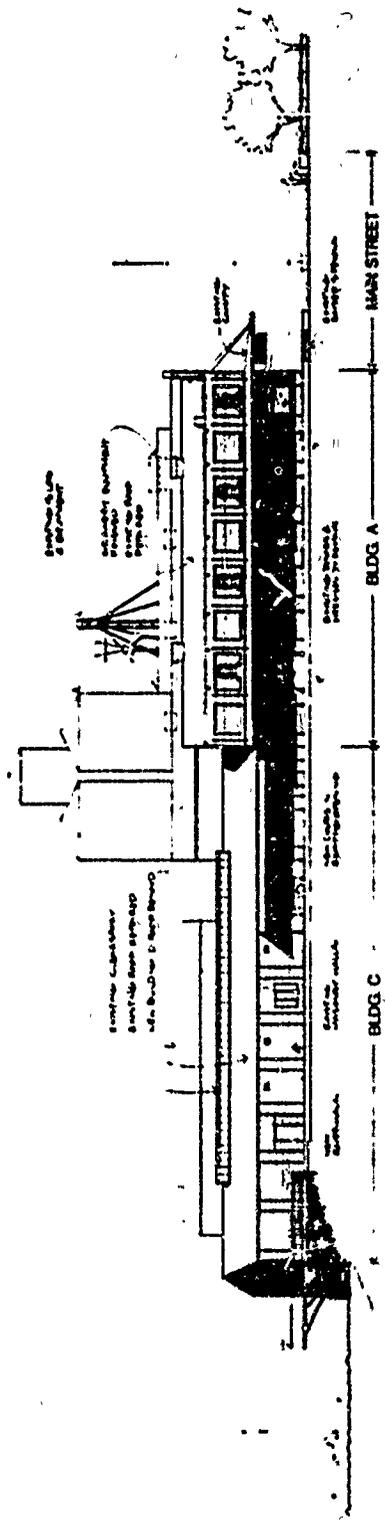


FIGURE 10
BUILDING SECTIONS

SOURCE: Tanner & VanDine Architects



WEST ELEVATION AT MAIN STREET

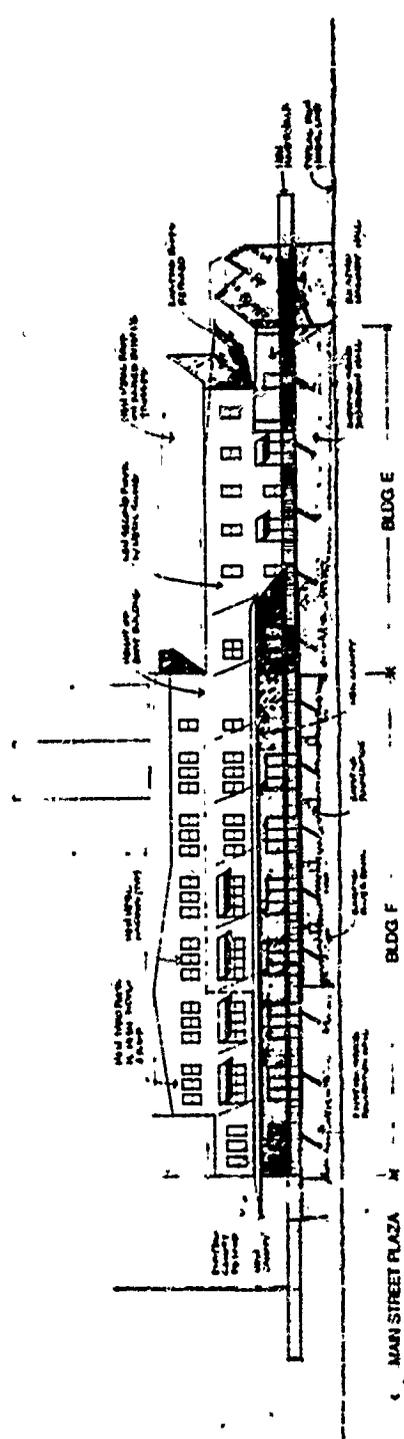


NORTH ELEVATION AT FIFTH STREET

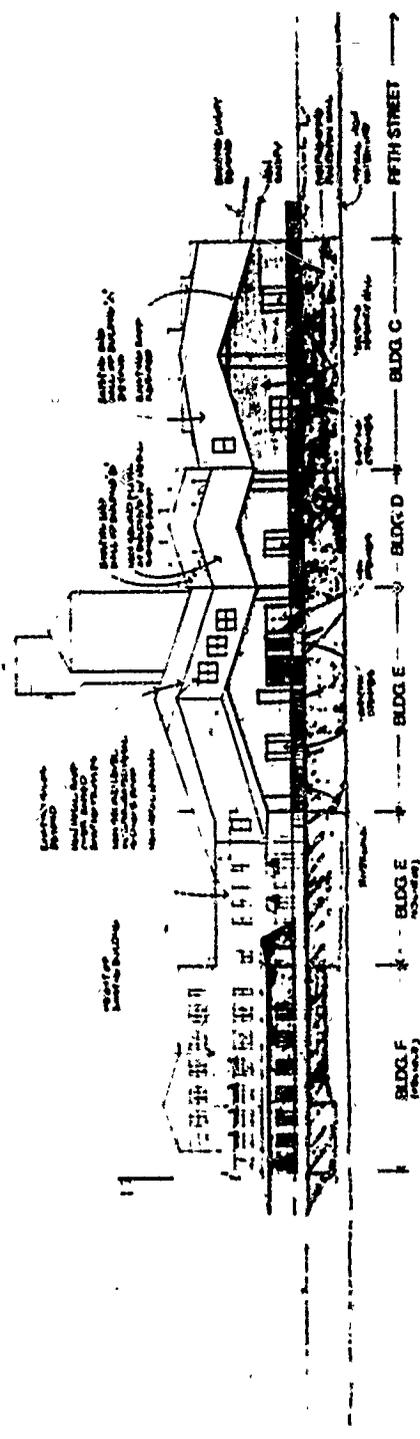
0 FEET 50

FIGURE 11
NORTH AND WEST ELEVATIONS

SOURCE: Tannir & VanDine Architects



SOUTH ELEVATION AT RIVER



EAST ELEVATION AT RIVER



FIGURE 12
SOUTH AND EAST ELEVATIONS

SOURCE: Tanner & VanDino Architects

CALENDAR PAGE	1537
MINUTE PAGE	43

A new second floor will be added over Buildings D, E and F for retail and restaurant uses. New floors on Buildings D, E and F will be set back 16 to 20 feet from the first-floor facade, and Building F will include a deck overlooking Main Street. No second-story space will be added to Building C. A new third floor will be added above Building F for office space.

Providing primary horizontal circulation at the interior ground floor level will be an arcade, partially open to the second floor level. Exterior circulation will be afforded by sidewalks along the Main and Fifth Street sides of the building and by a riverwalk along the eastern and southern sides. The riverwalk will extend out over the mean high water mark of the Napa River at an elevation of 16.75 feet, and will be supported by knee braces. Seven stairways and three elevators will provide circulation between floors.

The project sponsor intends to maintain the architectural integrity of the historic portions of the Hatt building and add new elements in a secondary, harmonizing role. A portion of the existing site, Buildings A and B (see plans), are listed on the National Register of Historic Places, and the entire structure has been designated by the City of Napa as a "Landmark Priority." Buildings A and B will be renovated such that their exterior appearance will remain essentially as at present. The metal canopies at the north and west facades of these two buildings, which project several feet out from the building walls, will be retained. The pressed tin wainscoting in the second floor room of Building B and the hardwood floor of the second floor of Building A will be substantially renovated in accordance with the requirements of the State Historic Preservation Office and the Secretary of Interior's Standards for Rehabilitation (see Item 20.b, in Section 3, below). One wall and the roof of Building F will be demolished and replaced, and Building C's roof will be replaced. Roofing material will be tar and gravel. In Buildings C, D and E, the brick walls will be retained, as will the existing trusses in Buildings C, D and E. The existing 80-foot-high silos and the rooftop tin structure will be retained; their exteriors will be renovated and the interiors of the silos modified consistent with the new commercial use of the building, for retail space and an elevator. Some original granary equipment from the mill will be displayed in the main public arcade, and elements from the original feed store will be maintained as well.

Across Main Street from the commercial complex will be a parking area; as proposed, the lot will provide 76 standard stalls, 14 compact car stalls, and four handicapped stalls, for a total of 94 self-park spaces. The sponsor is seeking a variance from required property line landscape setbacks in order to maximize on-site parking. (A lot to code standards would have 68 spaces.) As designed, the project proposes small, flowering trees to be installed along the perimeter streets of Main, Fifth and Brown Streets, and larger, broadly spreading trees within the interior of the parking lot for shade. Underplanting of low, durable shrubs and ground cover will be added throughout the lot's landscaped areas.

The project applicant has requested that the City of Napa abandon or lease to the project the street rights-of-way along Main and Fifth Streets fronting the project site and Brown Street between Fifth and Division Streets in order to accommodate additional spaces. Appendix A completely describes the various parking options.

(Measures proposed to mitigate the project's deficiency in meeting the City's parking requirement involve other matters that would require a variance as well. Please see Appendix A.)

The site plans do not include any proposed landscaping on the river banks along the Hatt Building's southern side. Landscaping will be installed within and surrounding the parking area, including along the top of the river bank along the southern side of the currently unimproved lots.

Hours of Operation. The following hours of operation have been provided by the project sponsor:

Overall	8:00 a.m. to 2:00 a.m.
Shops	10:00 a.m. to 9:00 p.m., Monday-Saturday 10:00 a.m. to 6:00 p.m., Sunday
Restaurants	
1st floor deli	11:30 a.m. to 6:00 p.m.
2nd floor food hall	11:30 a.m. to 2:00 p.m., & 4:30 to 11:00 p.m.
2nd floor supper club	11:30 a.m. to 2 p.m., & 4:30 p.m. to 2:00 a.m.
Offices	8:00 a.m. to 5:00 p.m.

Anticipated Employment. As acknowledged in the project application, the number of employees depends on final tenant mix and market demand for goods and services to be provided. The sponsor does, however, project the following employment levels:

Retail/Arcade Space 47,200 square feet
2,830 employee hours per week
47 full-time & 47 half-time jobs

Assumption: One employee per each 800 square feet of retail and arcade space for 48 hours per week (8 hours per day, 6 days per week).

Restaurant Space 11,100 square feet
1,165 employee hours per week
14 full-time & 29 half-time jobs

Assumption: One employee per each 400 square feet of seating space for 42 hours per week (7 hours per day, 6 days per week).

Office Space 6,000 square feet
1,200 employee hours per week
29 full-time jobs

Assumption: One employee per each 200 square feet of office space for 40 hours per week (8 hours per day, 5 days per week).

Miscellaneous 1 full-time & 4 half-time jobs

Assumption: One full-time maintenance person, one half-time maintenance person, and three half-time janitorial workers.

Construction Schedule. Assuming a starting date of November 1986, the project would be completed in August 1987.

6. Permits and Approvals. List all other related permits and/or public approvals required of this project by other agencies.

The following permits/approvals would be required for this project:

- **Environmental Review.** An Initial Study is required to comply with the California Environmental Quality Act (CEQA) and Napa Municipal Code. The Initial Study must be circulated through the State Clearinghouse to state and federal agencies for review.
- **Rezoning.** The project site is currently zoned "PC" (Planned Community); the project includes a request for rezoning to "PD" (Planned Development).
- **Use Permit.** A permit is required for development of the site for a commercial use.
- **Design Review.** Preliminary approval was granted by the Design Review Board on July 9, 1986.
- **Certificate of Appropriateness.** This certificate is required before any construction to or alteration, removal or demolition of the Hatt Building, as it is a designated city landmark and is located in an historic district. The Napa Design Review Board granted this certificate on July 9, 1986, subject to review by the State Office of Historic Preservation.
- **Variance.** A variance has been requested because the project will provide fewer than the required number of parking spaces, and the parking lot, as proposed, does not have the required depth of setbacks for landscaping. (Other measures proposed in this report for mitigating the project's deficiency in meeting the City's parking requirement will involve a variance as well. Please see Appendix A.)
- **Approval to Use Street Right-of-Way.** The project proposes to either lease, have the city abandon, or have the project acquire a license to use city property in the streets adjacent to the Hatt Building. The City's approval of such an arrangement will allow on-street parking spaces to be counted towards fulfillment of the parking requirement.
- **Historic Rehabilitation Approvals.** The project needs approval from the U.S. Department of Interior, National Park Service and the State Office of Historic Preservation in order to receive a federal historic rehabilitation investment tax credit.
- **Underground Tank Removal Permit.** The Napa County Health Department must issue a permit to remove the subsurface gas tank at the project site.
- **State Lands Commission Permit.** This permit and fee is necessary as the project's riverwalk will extend into State lands; the fee would be nominal and review of the permit would not delay the project.
- **Section 404 and Section 10 Permits.** A Section 10 permit is required for the riverwalk and Section 404 and Section 10 permits for the plaza and parking lot; both are issued by the Army Corps of Engineers. (The project sponsor has agreed to eliminate the plaza and, thus, these two permits would not be required.)

- **Stream Alteration Agreement.** An agreement with the Department of Fish and Game is necessary for the proposed plaza, the riverwalk and the portion of the parking lot near the river. (The project sponsor has agreed to eliminate the plaza and, thus, an agreement for this part of the project would not be necessary.)
- **Building Permit.** A permit approving final construction drawings is required. Approvals are also needed for design of street and utility improvements.

SECTION 3

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM AND EXPLANATION

The City of Napa requires that all questions on the Initial Study Environmental Checklist Form be answered with a "yes," "no," or "maybe." Explanations for "yes" and "maybe" answers are required. Items and questions from the City's form are shown below with underlining, followed by a response or explanation. A copy of the completed checklist form is provided in the Appendix for reference.

A. ENVIRONMENTAL IMPACTS

1. Earth. Will the proposal result in:

a. Unstable earth conditions or in changes in geologic substructures?

NO. The project will transform a flat, undeveloped portion of the site west of the Hatt Building to a paved parking lot with some landscaping. Soils on the project site consist primarily of Cole silt loam./1/ This type of soil is characterized as having severe limitations for local road and street development because of low bearing strength and high shrink-swell potential. Permeability is moderate to high, and there is little or no hazard of erosion. Compliance with the Uniform Building Code will reduce any limitations for use of these soils for construction to a level of insignificance.

Riverwash soils, limited to the banks of the Napa River, are variable, consisting of irregular layers of sand, gravel, stones and cobbles./1/ The Napa County Soil Survey identifies that, because of their variability, evaluation of the engineering and physical properties of riverwash soils is not possible without a site specific analysis. The proposed plaza will extend out over the river bank and presumably be supported by a retaining wall. The parking lot will extend into the setback area required by the City's Streambank Setback Ordinance, and, hence, riprap or a retaining wall will be necessary. A California Department of Fish and Game Stream Alteration Agreement (Section 1601-1603) will be necessary for construction of the plaza and parking lot, and Army Corps of Engineers' Section 10 and 404 permits could be required. The stability of these river bank soils will have to be analyzed to determine proper construction design. Compliance with the Uniform Building Code will reduce impacts to a level of insignificance. Also see the discussion in Item 3.c below regarding compliance of the proposed plaza design with the City's restriction against floodway encroachment.

In order to mitigate adverse impacts of the proposed plaza on the river bank, ~~the~~ project sponsor has agreed to eliminate the plaza from the project. Main Street will terminate where paving now ends.

b. Disruptions, displacements, compaction or overcoverir v of the soil?

YES. The project will require clearing and grading for construction of an asphalt-covered parking lot and new sidewalk, curb and gutter. Associated excavations for utilities and compaction of parking lot sub-grade are typical for urban development and have no significant local or regional impacts. Because the site is flat, the disturbance that will occur is low.

An underground tank is located beneath the Main Street frontage of the building. As required by law, the tank will be removed, requiring additional excavation. Standard methods for filling and compaction of this excavation will result in no long-term significant impacts.

c. Change in topography or ground surface relief features?

NO. The existing ground surface on the unimproved portion of the site is relatively flat. Grading activities needed to prepare the site for the parking lot will be minor. Design will be in accordance with City of Napa standards or engineering standards. No additional fill will be required for surface grading operations because the flat site will remain flat after installation of the parking lot. Fill may be necessary, however, to replace the volume of the underground tank that will be removed. (See Item 10, Risk of Hazards, below.)

Stabilization of one part of the Hatt Building foundation will be necessary due to undermining.^{/2/} Such construction would be in compliance with the City's Streambank Setback Ordinance which applies only to new construction. If, however, any riprap or other materials are placed in the floodway as a result of foundation work, such obstructions will require Army Corps of Engineers permits (Section 10 and Section 404) and a Department of Fish and Game Stream Alteration Agreement, and will not be in accordance with the City's floodplain ordinance (Ord. No. 2571).

The project sponsor has agreed, as mitigation, to provide building stabilization, to the extent possible, through the placement of caissons from within the building, eliminating the need for exterior, stream bank modifications along the building. If exterior work is undertaken, the sponsor will remove existing obstructions in the floodway (e.g., wooden pylons) such that the net effect is a zero rise in the flood elevation.

d. Destruction, covering or modification of any unique geologic or physical features?

NO. The underlying geologic formation consists of thick alluvial fan deposits that are widely distributed throughout the Napa Valley and are not unique to the site.^{/3/} The project proposes to modify the river bank by installing a plaza at the end of Main Street; this will require a retaining wall extending down to the river bank. The parking lot also will necessitate a retaining wall or riprap as it extends into the stream setback area (see Item 1.a above).

The sponsor has agreed, as mitigation, to delete the proposed plaza from the project. Modifications to this portion of the stream bank would not be required as part of the project.

A small utility shed of about 450 square feet in area is proposed for the southeast corner of the parking lot; it will be about 10 feet from an existing rock retaining wall. This construction will be in compliance with the City's Streambank Setback Ordinance, which restricts construction of buildings and accessory buildings greater than 500 square feet within 20 feet of the river bank.

e. Any increase in wind or water erosion of soils, either on or off the site?

NO. Grading of the parking lot area and excavation of the underground storage tank will result in the temporary exposure of bare soil to wind, especially during

the summer dry period, and runoff during the rainy season. To mitigate potential erosion problems, the sponsor has agreed to require the construction contractor to sprinkle the site at least twice daily to minimize dust, and to till the parking lot and plant a silt fence to minimize runoff.

- f. Changes in deposition or erosion of beach sands, or changes in siltation, deposition or erosion which may modify the channel of a river or stream or the bed of the ocean or any bay, inlet or lake?

NO. The project as proposed includes a plaza at the end of Main Street, presumably including a retaining wall support structure that will extend down to the high water mark of the river. This construction is not prohibited under the City's Streambank Setback Ordinance which regulates new building along streams and river banks. The retaining wall will not obstruct low flows of the river, but will impede flood waters of the 100-year event and, consequently, will not comply with the City's floodplain regulations. A plaza and retaining wall also will require a Section 404 permit and a Section 10 permit from the Army Corps of Engineers. The project sponsor has agreed, as mitigation, to eliminate the plaza from the project. The permits discussed would not be required as a result of this action.

The project's parking lot will extend into the setback area required by the City's Streambank Setback Ordinance. Consequently, riprap or a retaining wall will be required to stabilize the bank. Work on the bank will be supervised by the Department of Fish and Game under a Stream Alteration Agreement, and could necessitate permit review by the Army Corps of Engineers (Section 10 and 404 permits).

- g. Exposure of people or property to geologic hazards such as earthquakes, landslides, mudslides, ground failure or similar hazards?

YES. The project is located near several potentially active faults including the Silverado Fault (1.3 miles east), the West Napa Fault (1.2 miles west), and the Carneros Fault (3.8 miles west) which run roughly in a northwest to southeast direction./4/

A major earthquake on any of these faults and other active faults such as the Green Valley Fault about nine miles to the southeast of the site could result in severe groundshaking at the site./5/ Compliance with the Uniform Building Code will reduce most effects to a level of insignificance. During an earthquake, there is potential for liquefaction in pockets of sand along the bank of the Napa River. The project site is flat, with no potential for landslides or mudslides.

NOTES - Earth

/1/ USDA, Soil Conservation Service, Soil Survey of Napa County, California, 1978.

/2/ Letter from Charles W. Shinnamon, P.E., Consulting Civil Engineer to James McCarty, Napa City Planning Department, dated June 4, 1986.

/3/ K. Fox, et al., Preliminary Geologic Map of Eastern Sonoma County and Western Napa County, California, a reprint by San Francisco Bay Design Environmental and Resources Planning Study, 1973.